

# THE PROPERTIES of Donsdale

## DESIGN GUIDELINES

### INTRODUCTION

This document outlines opportunities and constraints associated with the construction of new homes in THE PROPERTIES OF DONSDALE.

THE PROPERTIES, located in prestigious Edmonton West, is a classically-designed residential community offering old world charm in a setting rich with landscape and unique linear ponds.

Outlined herein are a set of guidelines which will direct homeowners, designers, and builders towards appropriate building forms and details.

The general architecture theme of THE PROPERTIES will encourage homes of timeless design. Stately, traditional styling will be compatible with the character of the subdivision.

These guidelines provide a framework for originality and individual expression to be balanced with the overall integration of the streetscape and the integrity of the neighbourhood.

Decisions regarding a house plan's conformance with the Design Guidelines rest solely with Alldritt Development Limited (hereinafter referred to as "Alldritt"). Judgement requiring interpretations of any specific part or all of the Design Guidelines is strictly Alldritt's right acting in conjunction with the recommendations of the Designated Consultant(s) appointed by Alldritt.

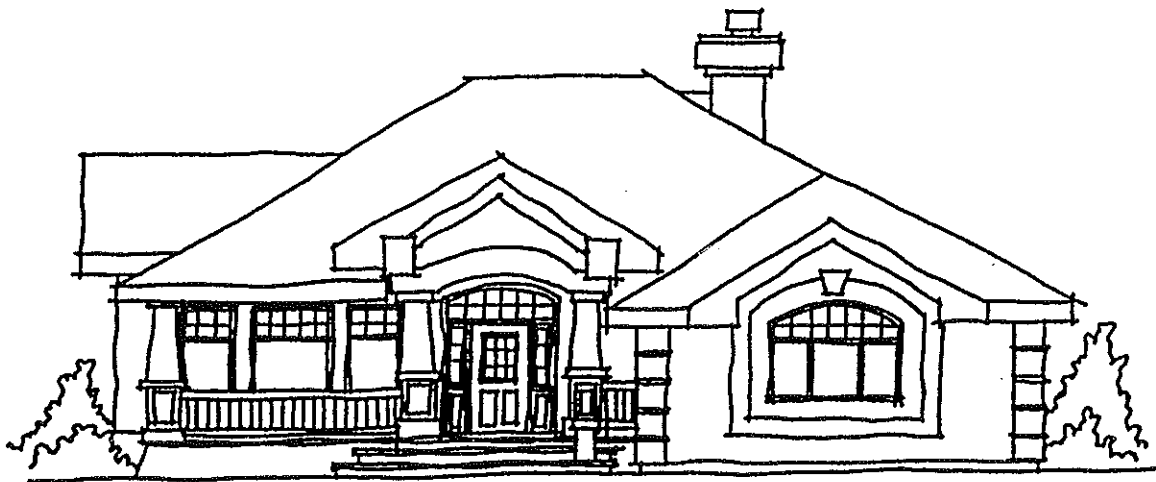
"Designs of Merit" which do not strictly follow the Design Guidelines will be given consideration. Acceptability of such designs will rest solely with Alldritt.



Submission of preliminary drawings illustrating such creative designs is encouraged.

The Design Guidelines may be altered, amended or varied by Alldritt in its sole and absolute discretion.

*"No sale is to be represented as being final to a prospective purchaser until the final approval of the plan, elevations, lot siting and colour scheme has been given by Alldritt (known as the "approved design"). The builder and/or homeowner shall be fully and solely responsible for such representations. Alldritt is not liable for any consequences or losses incurred as a result of such representations being made to a prospective purchaser, including the costs of preparing the house plan application."*



## **DESIGN GUIDELINES OBJECTIVES**

Care has been taken to develop and refine architectural measures which will achieve the high standards of character, style and originality that will be synonymous with THE PROPERTIES.

The general architectural theme of this community will encourage homes of timeless design. Heritage character homes will be compatible with the stately setting of this development.

## **CITY OF EDMONTON STANDARDS**

Formal standards for this development will be those established in The City of Edmonton Land Use Bylaw. Conformance with the Design Guidelines does not negate the requirement of approval by The City of Edmonton or other governmental agencies.

## **SETBACKS**

Minimum setbacks will conform with those established by The City of Edmonton Land Use Bylaw; however, Alldritt reserves the right to adjust the setbacks on a lot-to-lot basis, at its sole and absolute discretion, in order to enhance the overall streetscape of the subdivision.

Some lots may be subject to a Development Setback Line which may require rear-yard or side-yard setbacks which are in excess of those set out in the Land Use Bylaw.

## **DESIGNATED SURVEYOR**

Pals Surveys & Associates Ltd. or whomever Alldritt may designate from time to time shall be the Designated Surveyor for THE PROPERTIES. The purchaser and/or builder must utilize Pals Surveys & Associates Ltd. to complete all plot plans, field stake-outs, Real Property Reports, and Lot Grading Certificates. All costs associated with these survey services shall be at the sole cost and expense of the purchaser and/or builder.

## **DWELLING UNIT SIZES (MINIMUM REQUIREMENTS)**

To ensure compatibility of dwelling unit sizes throughout the development, the following minimum size requirements will apply:

| <u>Type</u> | <u>Size (Sq. Ft)</u> |
|-------------|----------------------|
| Bungalow    | 1800                 |
| 1½ Storey   | 2400                 |
| 2 Storey    | 2600                 |

Square footage is calculated by measuring the floor area of the home completely above grade. The square footage for a bungalow shall not include the area of any "bonus room" above the attached garage.

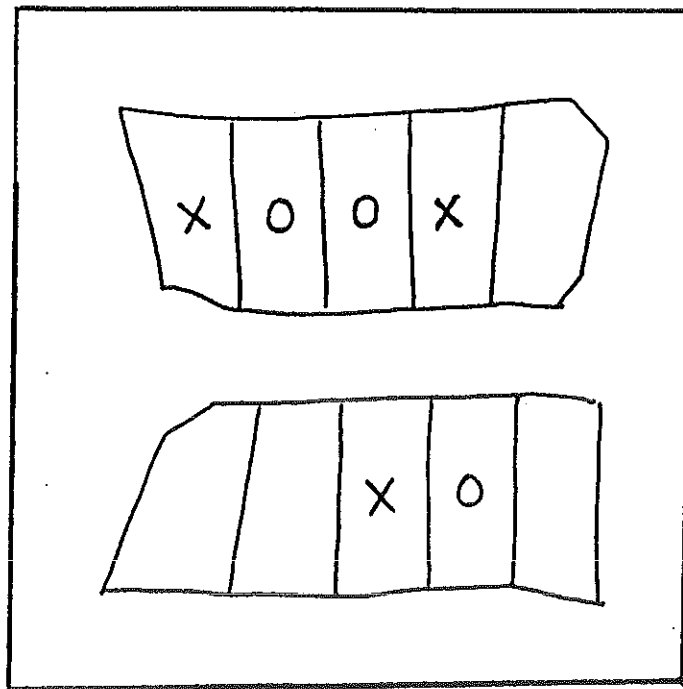
The massing of each home must balance function and form in equal measure with the scale and character of the streetscape. Building massing and siting may be adjusted on a lot-to-lot basis.

Homes should be designed to maximize the size and characteristics of the lots including grade elevations. Siting must reflect careful consideration of relationship, topography, and orientation.

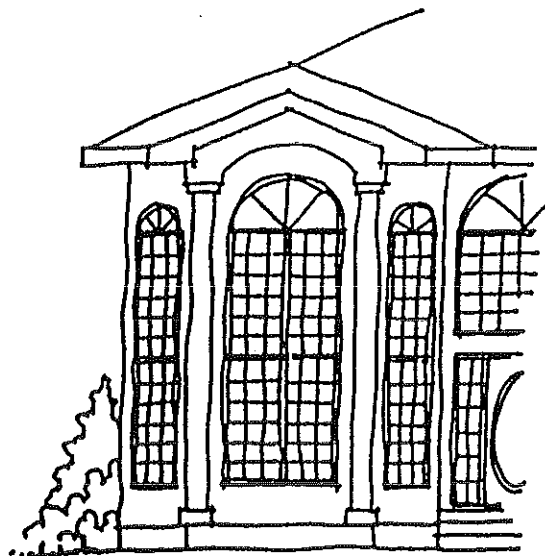
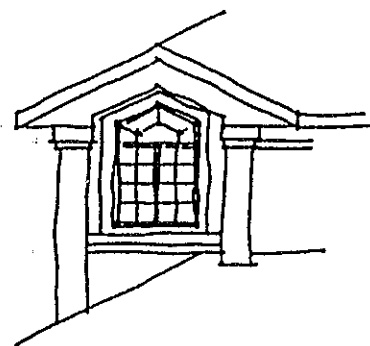
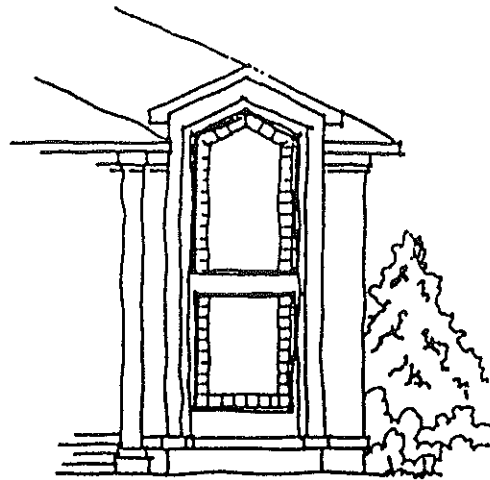
Alldritt reserves the right, at its sole and absolute discretion, to grant a variance in the square footage requirement of a home design in consideration of "exceptional" design. In such a case, the home design will be approved under the "Design of Merit" category referenced in the Introduction hereof.

### **BUILDING ELEVATIONS/EXTERIOR TREATMENT**

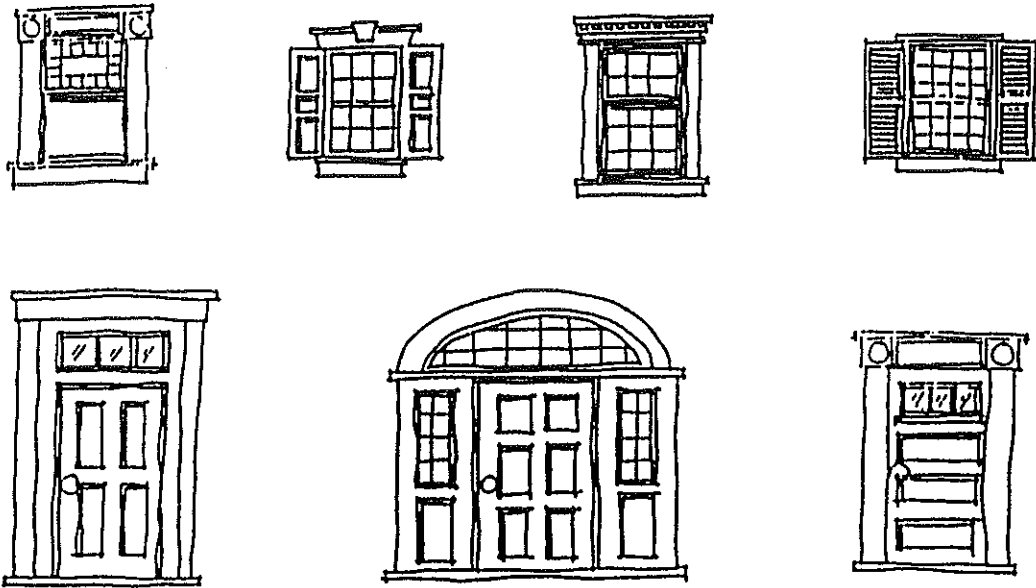
The originality encouraged in THE PROPERTIES dictates a restriction of similar elevations within three (3) lots on the same side of the street or directly across the street. Colour schemes will be approved on an individual basis. Notwithstanding the foregoing, Alldritt will discourage the predominance of one (1) colour within a development node, stage, or segment of THE PROPERTIES.



Front elevation treatments should reflect architectural features consistent with the calibre of the neighbourhood. Attention to details such as door and window surrounds, decorative windows and grills, shadow bands, roof elements, brick, stone and stone tile are mandatory.



## ADDITIONAL EXAMPLES OF FRONT ELEVATION TREATMENTS



It is strongly encouraged that brick or stone tile be the predominant front elevation cladding material. Where brick is utilized, it should be installed to create a panel effect rather than as an accent material.



When brick is utilized as the predominant front elevation cladding material, brick returns may not be required.

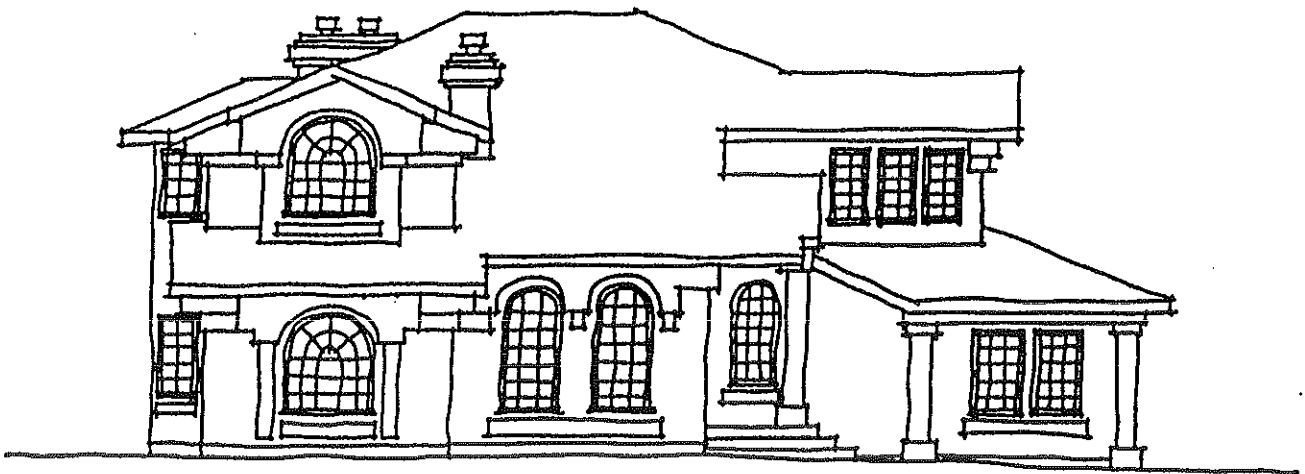
Where brick, stone, stone tile and banding details are utilized as accents on the front elevation, 24" returns are required.

In the event that brick is not the predominant front elevation cladding material, other permitted cladding materials shall include double 4½" bevelled or coved vinyl siding, machine-applied or trowelled finish stucco (California style or Acrylic), prefinished (long life) wood siding, or stone/shale in a stacked application.

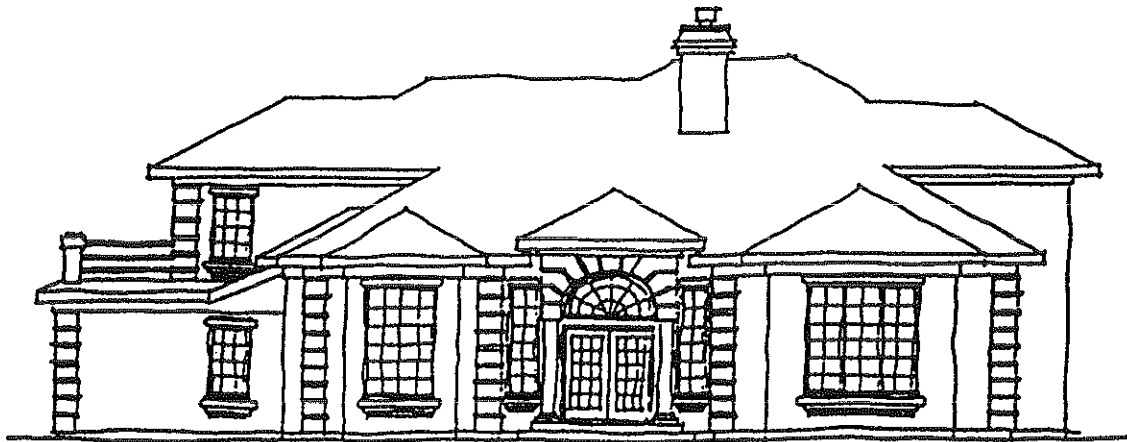
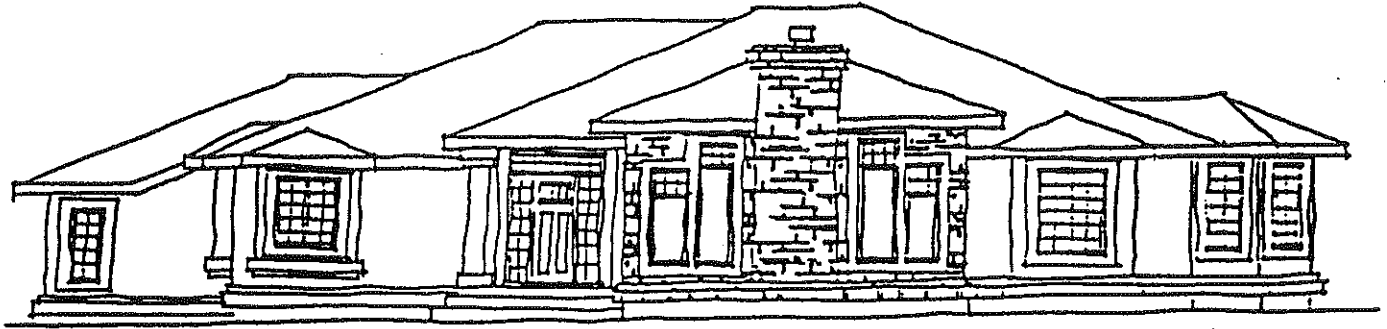
Homes on corner lots have greater public visibility because of a second front elevation. For a successful home design on a corner lot, the appropriate front elevation treatment must continue onto the flanking elevation.

Any portion of an elevation which is forward of the plane of the front entrance door is considered to be an extension of the front elevation as well; therefore, all the front elevation guidelines will apply, as in the case of the inward flanking side elevation of a forward projecting garage.

Bungalows, bi-levels or 1½ storey models are strongly encouraged on corner lots. Two storey models will be considered only if it can be demonstrated that the design is uniquely suited to these locations. This will require substantial variation in the wall planes, second floor setback from the vertical plane of the lower level to provide roof mass between floors, appropriate wall heights and window placement with detailing and elevation treatment consistent with the front elevation.



ADDITIONAL EXAMPLES OF CORNER LOT ELEVATIONS

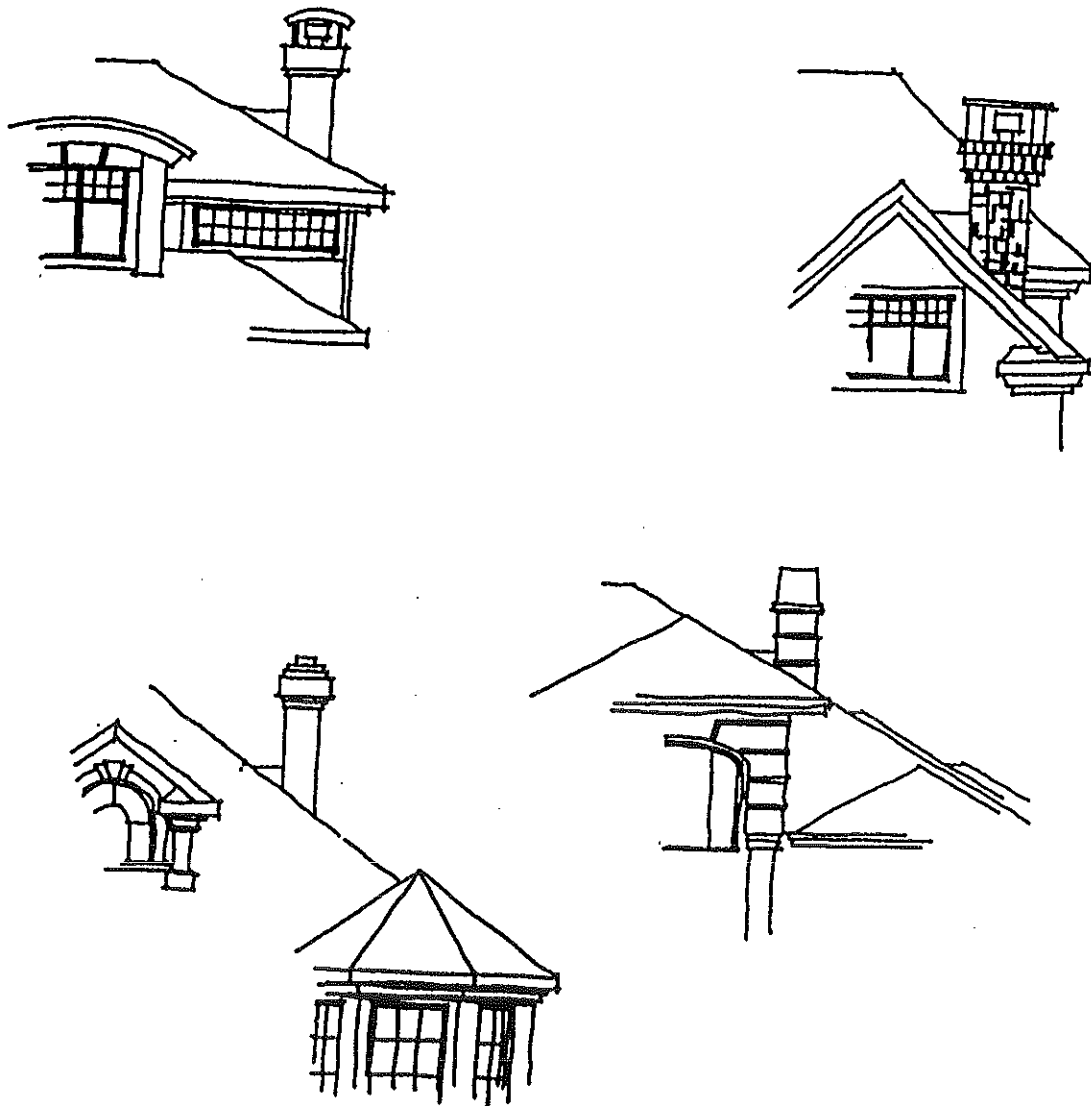




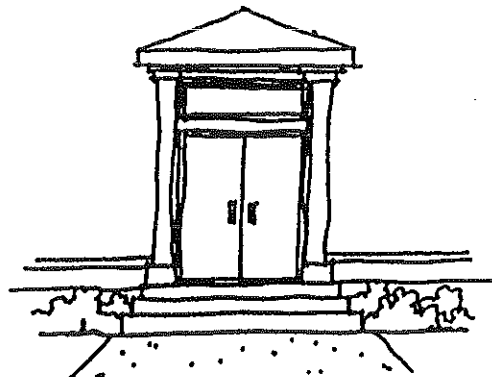
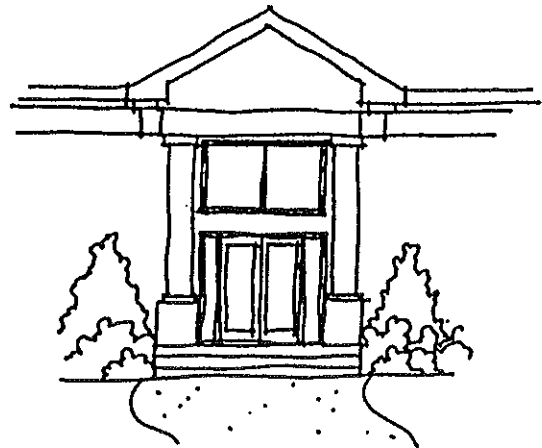
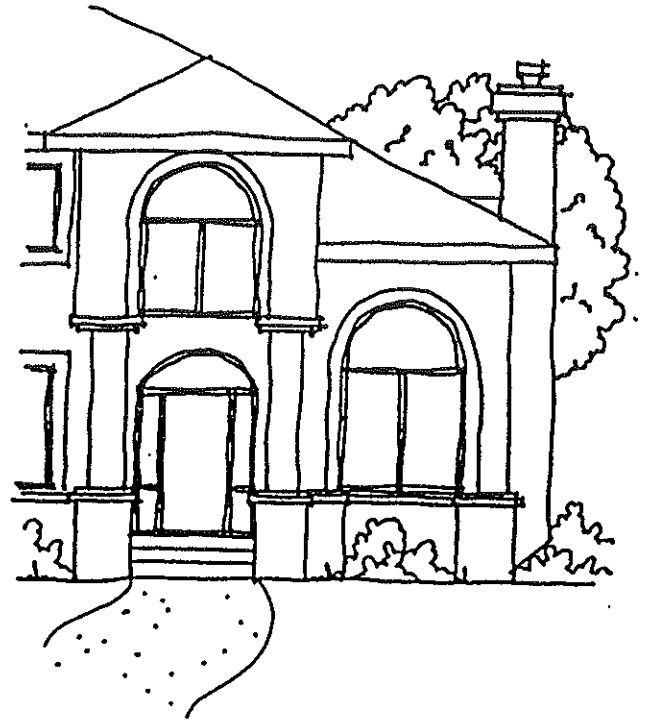
**Rear and Side Elevations** - The rear and side elevations must be clad with the same cladding material utilized on the front elevation except when the front elevation is entirely clad in brick, stone, or stone tile, then any one of the approved cladding materials may be utilized.

Lots backing onto the stormwater management pond require consideration because of the high visibility. The rear elevations of these homes should avoid large expanses of blank wall space and incorporate appropriate overhangs at all roofs including cantilevers, box-outs and bay windows.

**Chimneys** - All furnace and fireplace chimneys that are exposed in any significant manner to the front or public adjacency shall be contained within a corbelled chase. The chase must be a minimum dimension of two feet by two feet (2' x 2') and must be constructed of materials which are compatible with the predominant cladding material on the home.



Entranceways will be a focal point of the front elevation. Style, width, height, and detailing will, in combination, create a sense of arrival at each home.



**Walk-out Basement Homes** - The rear elevation of these homes require special design consideration to address three (3) storey appearance in highly visible settings. Architectural measures such as variation in wall planes, downhill slopping roofs in combination with dormers, decks, decorative windows and posts are acceptable solutions.



**NOTE:**

In 2021 *The Properties of Donsdale Residents Association* amended these architectural guidelines to allow a limited number of additional roofing materials. See [donsdale.ca](http://donsdale.ca) for more information about current roofing options.

## **ROOFS**

All roofs are to be wood shakes. Metal tiles or sheet roofing, clay tile, slate or asphalt shingles, including the heavier weight shingles, are not permitted.

Roof slopes are to be a minimum of 5 in 12. Fascia boards are to be a minimum of ten inches (10") in depth.

Eave overhangs are to be proportionate to the style of the home. No minimum or maximum widths have been established.

## **ACCESSORY BUILDINGS AND/OR GARDEN SHEDS**

The construction of accessory buildings and/or garden sheds will be subject to these Guidelines in that the exterior finish, style and colour shall be consistent with the house construction. Roof style and material are to match the roof style and materials used on the house.

Accessory buildings constructed on the stormwater management pond must be a minimum two (2) metres from the ornamental iron fencing.

## **DRIVEWAYS/SIDEWALKS/ENTRANCE STEPS**

Driveways and sidewalks are to be constructed of the following materials:

1. Concrete including plain, stamped or coloured concrete;
2. Coloured concrete pavers;
3. Exposed or washed concrete.

In all cases where coloured concrete or coloured concrete pavers are utilized, the colours will be unobtrusive and must be expressly approved by Alldritt.

Entrance steps, particularly the front entrance steps, should be constructed of materials which are consistent with those provided above. Precast concrete steps will be permitted providing they are consistent with the driveway and sidewalk materials and the entry design and width.

Where a change in grade elevation requires more than three (3) risers, the run must be split. Front entry steps must be restricted to a maximum of 3 risers per set.

Builders shall be responsible for the construction of the driveway apron which must be the same design and constructed of the same material as the driveway.

The builder/purchaser shall be responsible for the relocation and heartiness of any boulevard tree(s) that are in conflict with the driveway configuration (side drive).

Double attached front drive garages are a minimum requirement and all garages must be located in accordance with Alldritt's Garage Location Plan.

## LANDSCAPING AND FENCING

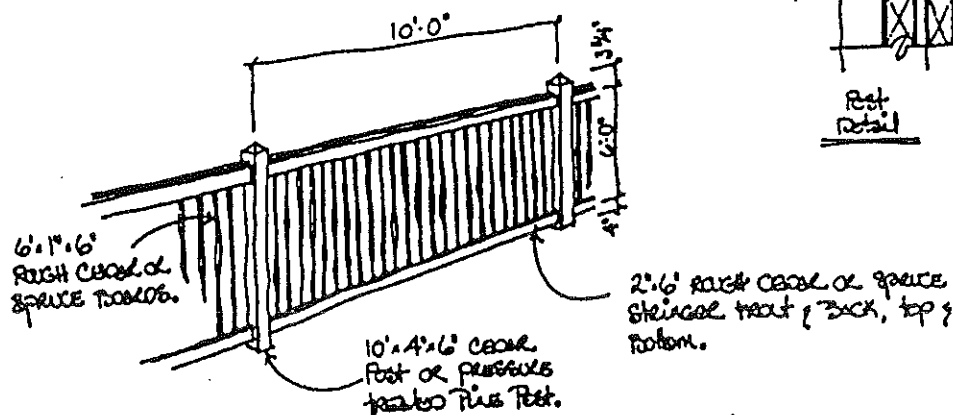
Landscaping and fencing is a mandatory requirement for all lots purchased in THE PROPERTIES. The landscaping and fencing must be completed within six (6) months, weather permitting, of occupying the dwelling and consists of the following:

- (a) front yard completely landscaped;
- (b) lawn areas are to be sodded in the front yard to the fence tie-backs;
- (c) two (2) trees - minimum of three inch (3") calliper for deciduous trees or a minimum ten feet (10') in height for coniferous trees, all of which are to be located in the front yards. One (1) tree may be deleted if the species planted in the front yard is a minimum five inch (5") calliper for deciduous or a minimum of fifteen feet (15') in height for coniferous trees. In addition, a minimum of 100 square feet of shrubbery must be planted in the front yard. The foregoing will also apply to the front yard requirements on pie-shaped lots where space may not permit a second tree;

The builder/purchaser/homeowner shall be responsible for the relocation and heartiness of any boulevard tree(s) that are in conflict with the driveway configuration (as in the case of a side drive);

- (d) wooden fencing to the details, design, colour, and extent illustrated;

NOTE: All wood to be construction grade.  
All hardware to be galvanized.



The approved stain colour for the approved fence is:

Cloverdale: 16 Line Solid Colour Stain No. 98-11027 - The Properties Pewter

- (e) Ornamental iron fencing, the Medallion Plus Collection, specifically five foot (5') Imperial Plus complete with rings every section, will be permitted as an alternate fencing material only along those property lines which flank or back on to any of the (dry) pond areas in THE PROPERTIES. (Information and specifications are available from Alldritt).

The security deposit will be released only after completion of the landscaping and fencing. Upon such completion, the builder and/or purchaser may make written request for final inspection, accompanied by the final grading certificate and City of Edmonton approval of same. At the time of request, the site should be cleaned in order to facilitate the inspection with the water valve (cc) exposed and clearly marked.

The Designated Consultant will carry out an on-site inspection to confirm compliance with the Design Guidelines and approved plans. In addition, the Designated Consultant will also inspect for possible damage to municipal improvements and subdivision amenities installed or constructed by Alldritt. A written report will then be forwarded to Alldritt for appropriate action as necessary.

Interim occupancy inspections will be completed by the Designated Consultant for a fee. A written report will be prepared for Alldritt. Notwithstanding the interim occupancy inspection and the findings contained in the report, the full amount of the security deposit must be maintained with Alldritt until such time as the Final Inspection is completed and Alldritt "signs off" on the lot.

## **LOT GRADING AND RETAINING WALLS**

Lot grading is to be consistent with THE PROPERTIES' approved Lot Grading Plan. Splash Pads or fixed downspouts are mandatory as required by The City of Edmonton. Lot grading should be absorbed with the building massing (i.e. step floors, walk-out basements, etc.) to minimize the need for grades steeper than 3 to 1.

The staking out of the home is the responsibility of the purchaser and/or builder. Building elevations must conform with the Lot Grading Plan. The purchaser and/or builder is responsible for the entire cost of this work.

**Sidyard Grading** - In addition to the critical grade control points at the corners of the lot, the grade elevations along the entire length of the side property lines will also be important considerations.

Alldritt has established critical swale grades for each lot which must be maintained.

Particular attention must be given to the sidyard grading for those lots with split drainage and/or side to side drainage. In the case of a side to side draining lot, the base of the steps for any side door access should be approximately equal to the level of the driveway at the garage door. For those lots with split drainage, the base of the steps should be lower than the level of the driveway. Keep in mind that in these cases, modifications to the exterior cladding may be necessary to ensure that the maximum two foot (2') parge line is maintained on all elevations.

In order to ensure that the proposed final grades of each house do not adversely affect an adjacent house, Alldritt reserves the right to make adjustments to the final grade for the mutual benefit of adjacent houses. Any and all costs associated with making the necessary adjustments are the sole responsibility of the purchaser/builder/homeowner.

**Retaining Walls** - When retaining walls are required in front yards they must be constructed of washed aggregate concrete or brick, complete with complementary brick cap detail. The colour of the cap should be compatible with the materials utilized on the house. The use of wood as a structural material for retaining walls will be permitted only within the rear yard. Wood cannot be used as a structural material in front yards.

Each individual retaining wall will be limited to an exposed height of three feet (3').

In all cases, the purchaser and/or builder who creates the need for a retaining wall structure shall be responsible for its construction and related costs thereto.

**Parge Line** - Special attention is to be given to the architectural treatment of exposed foundation walls. A maximum of two feet (2') of parged concrete is allowed on all elevations.

The cladding material must be extended groundward to achieve this desired result, or alternative detailing is required.

For those lots with side slopes, the use of larger basement windows is strongly encouraged.

## **OTHER IMPORTANT DESIGN GUIDELINES**

### **APPEARANCE DURING CONSTRUCTION**

The purchaser and/or builder is required to keep the lot clean and orderly during construction. There will be no burning of garbage, and the use of disposal bins is strongly encouraged during construction of the home. Builders found negligent will be back-charged for clean-up carried out by Alldritt.

No builder/purchaser shall allow any trees, fencing, buildings or other site improvements to fall into a state detrimental to THE PROPERTIES.

### **APPROVAL PROCESS**

To achieve the goals set out in the objectives and guidelines for THE PROPERTIES, the builder/purchaser is encouraged to submit a preliminary plan for review and approval. This preliminary review should be done early in the design process to ensure the proposed plan is consistent with the spirit of these Design Guidelines and in harmony with the streetscape.

Construction can commence only after the necessary City of Edmonton and Alldritt approvals have been granted. Any construction prior to receiving approval will result in the automatic forfeiture of the Security Deposit.

The purchaser and/or builder shall submit the following information to Windward Landtec Inc. or whomever Alldritt designates from time to time:

- (a) detailed drawings of the house (plans, elevations, sections at 1/4" = 1'0");

- (b) a plot plan identifying lot grades, floor elevations, setbacks, house location and driveway slope at 1:300, prepared by the Designated Surveyor;
- (c) a completed Application for House Plan Approval (indicating colours, materials, and other specific information as requested in the form).

A copy of the Application for House Plan Approval is enclosed in these Design Guidelines.

Windward Landtec Inc. shall review the plan and recommend approval or rejection of the Application based on adherence of the plans to these Design Guidelines. A copy of the approval will be provided to the applicant. The original Application Form and drawings will be kept on file for Alldritt for future reference.





Subdivision \_\_\_\_\_

Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

Homeowner \_\_\_\_\_

Municipal Address \_\_\_\_\_



**APPLICANT INFORMATION**

Name \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ PC \_\_\_\_\_ Tel \_\_\_\_\_ Fax \_\_\_\_\_

Job No \_\_\_\_\_



**HOUSING DESIGN**

Type Bungalow  BI -Level  Split Level  Two Storey  Other

Area Main Floor \_\_\_\_\_ Second Floor \_\_\_\_\_ Total Floor \_\_\_\_\_ Sq.Ft. \_\_\_\_\_

Form Roof Style \_\_\_\_\_ Roof Pitch/Slope \_\_\_\_\_ Fascia Size \_\_\_\_\_

| Exterior Detail | Manufacturer | Material | Colour |
|-----------------|--------------|----------|--------|
| Roof            | _____        | _____    | _____  |
| Wall            | _____        | _____    | _____  |
| Brick / Stone   | _____        | _____    | _____  |
| Trim            | _____        | _____    | _____  |
| Soffit, Fascia  | _____        | _____    | _____  |
| Window          | _____        | _____    | _____  |
| Front Door      | _____        | _____    | _____  |
| Garage Door     | _____        | _____    | _____  |
| Chimney         | _____        | _____    | _____  |
| Driveway        | _____        | _____    | _____  |
| Driveway Border | _____        | _____    | _____  |
| Verandah        | _____        | _____    | _____  |

**NOTE:**

Colour - Please specify Manufacturer's name, reference number and colour; Example, Olympic 704 Brown

Siting and grades as per surveyors plot plan.

Conformance to setback and lot grading requirements are the responsibility of purchaser and /or builder.

**USE OF HOUSE PLAN APPROVAL SERVICES**

The Applicant acknowledges that the house plan approval is provided as a service and that the developer and its designated consultants assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof. The applicant further acknowledges that they will hold the developer and its designated consultants harmless from any action resulting from the use of this information.

Date \_\_\_\_\_ Signature \_\_\_\_\_

**APPLICATION FOR HOUSE PLAN APPROVAL**